



# SUMMARY



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Summary Text (enter here)

## 2.1.1 Roof Covering

### EXPOSED FASTENERS

Major Defect

I observed indications of exposed fasteners at the roof-covering materials. Fasteners should not be exposed—potential water entry points. The roof could leak. Further evaluation and correction are recommended.

#### Recommendation

Contact a qualified roofing professional.



Ridge Cap



West



West



East

## 2.1.2 Roof Covering

### DELAMINATION

Major Defect



The asphalt shingle roof shows signs of delamination. Delamination is the separation of the surface layer of asphalt. Recommend a qualified roofing contractor evaluate and repair to prevent further deterioration that results in leaking and moisture intrusion.

Recommendation

Contact a qualified roofing professional.



West



West



West



East



East



East



West



Garage, East



Garage, East

2.1.3 Roof Covering

**CRACKED AND DAMAGED ROOF COVERING**

 Major Defect

I observed areas of cracked/splitting and damaged roof-covering materials. This is a major defect. Prone to water leaking into the house. I recommend that a qualified roofing contractor evaluate further and make repairs to the roof system,



Recommendation  
Contact a qualified roofing professional.



Ridge Cap



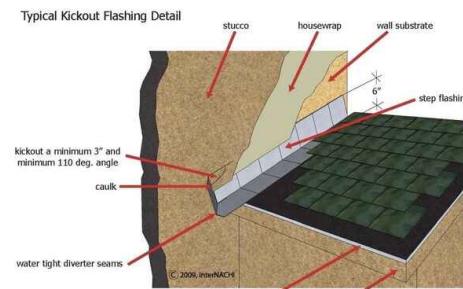
West

### 2.3.1 Flashings & Ridge Cap **MISSING KICKOUT FLASHING**

Major Defect

I observed a defect in the flashing area called a "kickout." It's missing. It is not installed. A kickout flashing "kicks" the roof water away from the house structure and diverts it into a gutter. This missing flashing could lead to hidden moisture intrusion and water damage issues that I could not observe during a visual-only home inspection. A roofing professional is needed to evaluate further and make necessary corrections.

Recommendation  
Contact a qualified roofing professional.



Sample Flashing Diagram



Garage, East

### 2.6.2 Gutters & Downspouts **GUTTER LOOSE**

Major Defect

I observed a gutter that was loosely attached to the house. This is a defect that a professional contractor should correct.

Recommendation  
Contact a qualified gutter contractor



West



Southwest



West

### 3.2.1 Eaves, Soffits & Fascia

#### **PAINT SURFACE IN POOR CONDITION**

 Major Defect

I observed indications of paint or staining in poor condition. Flaking, cracking, and worn areas.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified painting contractor.



South

### 3.3.1 Wall-Covering, Flashing & Trim

#### **DAMAGED WALL-COVERING MATERIAL**

 Major Defect

I observed indications of a defect at the exterior wall-covering material.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified professional.





South, and Garage East



South



Garage, East



East



West



North

### 3.3.2 Wall-Covering, Flashing & Trim

#### **CHIPPING, PEELING, DETERIORATING PAINT/FINISH**

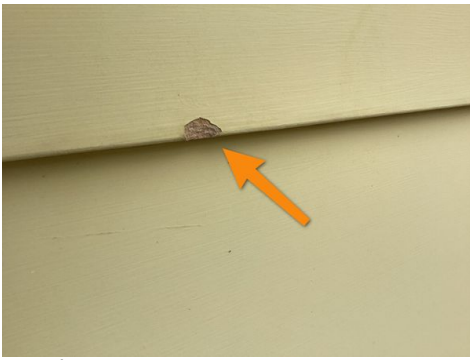
 Major Defect

I observed areas of chipping, peeling, or deterioration of the exterior wall-covering paint/finish.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified professional.



South



North



West

### 3.4.1 Vegetation, Surface Drainage, Retaining Walls & Grading

#### **NEGATIVE GRADING**

 Major Defect

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues.

The ground around a house should slope away from all sides, ideally 6 inches for the first 10 feet from the house foundation perimeter. Downspouts, surface gutters, and drains should direct water away from the foundation.

#### Recommendation

Contact a qualified landscaping contractor



North,



East

### 3.5.1 GFCIs & Electrical

#### **MISSING RECEPTACLE**

 Major Defect



I observed indications of a missing electrical receptacle outlet on the house's exterior. At a minimum, at least one receptacle should be in the front and back of the house. All 15-amp and 20-amp, 120-volt receptacles must be GFCI-protected. A GFCI receptacle or a GFCI breaker may provide protection. One receptacle is required at the front and rear of the house and a maximum height of 6 feet 6 inches above grade (ground level).

Recommendation

Contact a qualified electrical contractor.



East

### 3.7.3 Walkways & Driveways

#### TRIP HAZARD

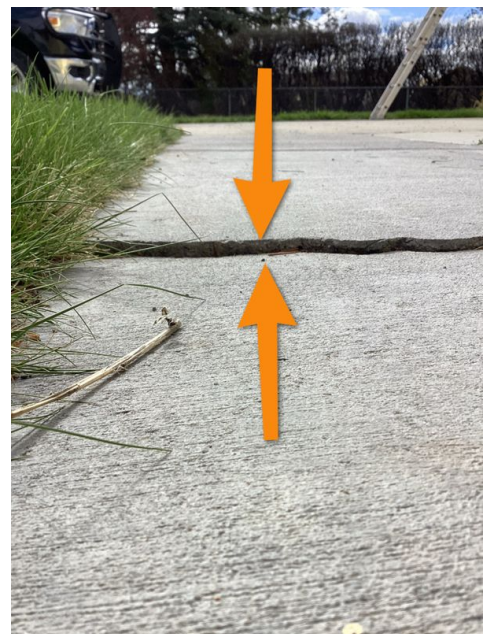


I observed a trip hazard. Any change in surface level that is a ¼ inch or more constitutes a tripping hazard. This condition is a safety concern.

Correction and further evaluation are recommended.

Recommendation

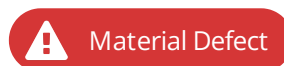
Contact a handyman or DIY project



East

### 3.8.1 Porches, Patios, Decks, Balconies & Carports

#### LEDGER BOARD DEFECT



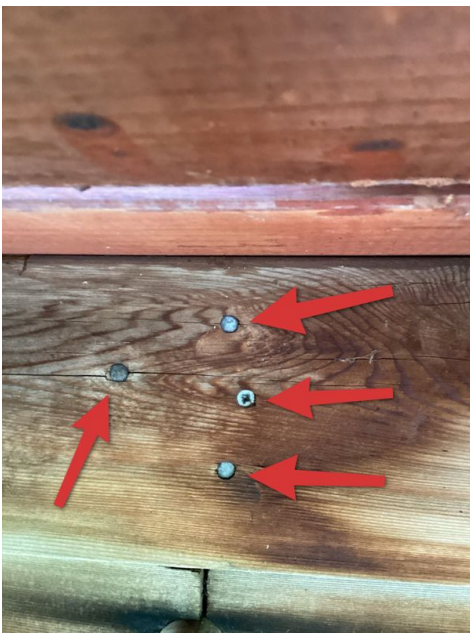
I observed indications of a defect on the ledger board of the deck.

The ledger board is not correctly attached to the building. This can cause the deck to pull away from the building and possibly collapse. It is a material defect.

Further evaluation and correction by a qualified contractor are recommended.

Recommendation

Contact a qualified deck contractor.



West

3.8.2 Porches, Patios, Decks, Balconies & Carports

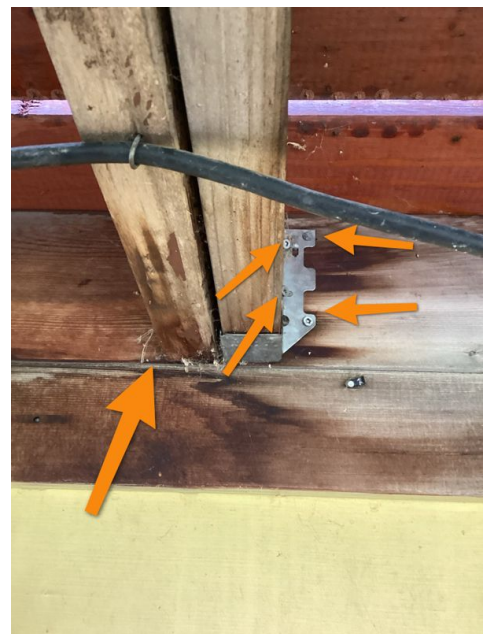
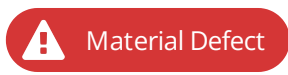
**JOIST HANGER DEFECT**

I observed a defect at the joist hangers of the deck. This condition is a major structural defect.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified deck contractor.



West

3.9.1 Railings, Guards & Handrails

**GUARD OPENING WAS TOO LARGE (4")**



I observed improper spacing between intermediate balusters, spindles, and rails at a required guard. This is a safety hazard, especially for small children.

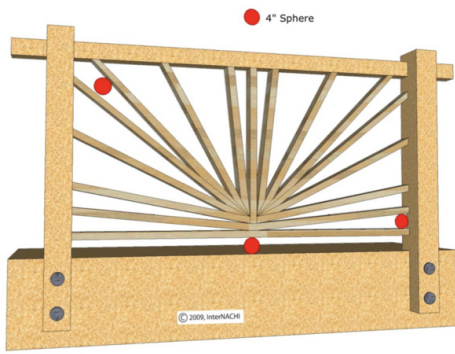
Guards may not allow the passage of a sphere 4 inches in diameter.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified general contractor.





4-inch sphere opening at a guard



West

### 3.9.2 Railings, Guards & Handrails

## STAIR GUARD OPENING WAS TOO LARGE (6")

Major Defect

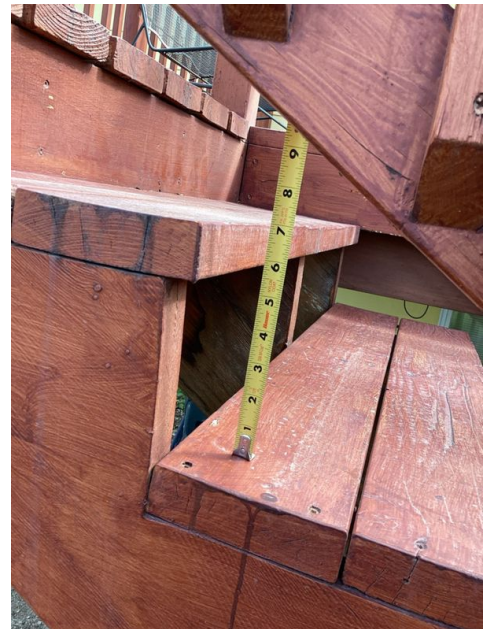
I observed improper spacing between intermediate balusters, spindles, and rails. This is a safety hazard, especially for small children.

And opening at the guard on the open side of a stair formed by the riser, the tread and bottom rail of the guard should not allow the passage of a sphere 6 inches in diameter.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified general contractor.



West

### 3.10.3 Windows

## PEELING PAINT

Major Defect

I observed chipping, peeling, or deterioration of the paint/finish in one or more of the window systems' exteriors.

Correction and further evaluation are recommended.

Recommendation

Contact a qualified professional.



South



East



North



Garage, South

### 3.11.1 Exhaust Hoods

#### **DAMAGED, MISSING, OR INOPERABLE EXHAUST HOOD LOUVERS**

 Major Defect

I observed the dryer vent hood louver to be inoperable. Damaged and dirty vent hoods prevent them from operating as intended, which can reduce airflow or correct louver operability. Inoperable vent louvers can allow pests and rodents to enter the home. A qualified contractor should evaluate and repair as necessary.

#### Recommendation

Contact a qualified professional.



Dryer, East

### 4.3.1 Insulation in Attic

#### **ADDITIONAL INSULATION RECOMMENDED**

 Major Defect

I recommend air sealing and adding insulation to the areas that need more insulation.



Recommendation  
Contact a qualified insulation contractor.

#### 4.4.1 Ventilation in Attic

### SOFFIT VENTING RESTRICTED

Major Defect

I observed restrictions in the insulation baffle's soffit venting air flow space. A qualified contractor should evaluate and correct as necessary.

Recommendation  
Contact a qualified professional.



East

#### 5.2.1 Stairs & Handrails

### MISSING HANDRAIL

Major Defect

I observed a missing graspable handrail. This condition is a safety hazard.

There is more than one step here, and I recommend installing a handrail for safety.

Recommendation  
Contact a qualified professional.



Upper Level Stairs

#### 5.3.1 Insulation & Ventilation - Unfinished Basement

### GENERAL ABSENCE OF INSULATION

Major Defect

I observed indications of the general absence of insulation in the foundation area.

Recommendation  
Contact a qualified insulation contractor.



East - Under Stairs Foundation Wall

#### 6.3.1 Main Service Disconnect

### DOUBLE TAPED WIRES

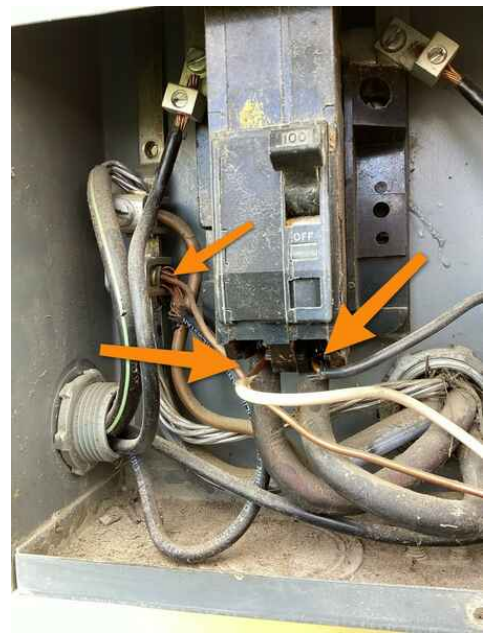
Major Defect

I observed double conductor wires connected to the same single breaker disconnect.

Each breaker should have just one conductor wire connected to it. A qualified electrical contractor should evaluate and correct this as necessary.

Recommendation

Contact a qualified professional.



West, House - 100 AMP

#### 6.4.1 Service Grounding & Bonding

### UNABLE TO CONFIRM PRESENCE OF GROUNDED CONDUCTOR

Major Defect

I was unable to confirm by observation the presence of a grounded conductor.

Recommendation

Contact a qualified electrical contractor.

#### 6.5.1 Electrical Wiring

### EXPOSED LIVE ELECTRICAL WIRES

Major Defect

I observed exposed live electrical wires. Hazardous condition.

Recommendation

Contact a qualified electrical contractor.



Under Stairs

#### 6.6.1 Panelboards & Breakers

### BREAKER INCORRECTLY WIRED

Major Defect

Circuit breaker was incorrectly wired / installed. This indicates that work was probably not performed by a licensed electrician and poses a safety hazard. Recommend that a licensed electrician check the entire panel and repair and replace as need.



Recommendation  
Contact a qualified electrical contractor.



Laundry Room

### 6.8.1 GFCIs **MISSING GFCI**

 Major Defect

I observed that a GFCI is missing in an area required to keep people safe. Specifically, kitchen outlets were not protected by GFCI. A qualified electrician should evaluate and correct as necessary.

Recommendation  
Contact a qualified electrical contractor.



Kitchen

### 7.1.1 Water Supply **NEGATIVE GRADING**

 Major Defect

Grading is sloping towards the wellhead. This could lead to water intrusion and well contamination.

The ground around a wellhead should slope away, ideally 6 inches from the wellhead perimeter for the first 10 feet. Surface drainage should direct water away from the wellhead area.

Recommendation  
Contact a qualified landscaping contractor



East

9.2.1 Doors & Windows

**WINDOW DAMAGE**

 Major Defect

I observed damage to the window stile at the locking mechanism. I recommend having the stile repaired.

Recommendation  
Contact a qualified professional.



Laundry Room

9.3.1 GFCI, Lighting Fixtures, Switches & Receptacles

**RECEPTACLE IS NOT GFCI PROTECTED**

 Major Defect

I observed that the receptacle in the laundry room is not testing as being GFCI-protected. This is a hazardous condition.

Recommendation  
Contact a qualified electrical contractor.



Laundry Room

10.2.1 Doors & Windows

**INOPERABLE - STUCK SHUT**

 Major Defect

I could not open the window in this room because it was stuck shut. This is an inspection restriction and a safety hazard. A qualified contractor should further evaluate and repair as necessary.

Recommendation  
Contact a qualified professional.



Bathroom - Lower Level



### ACTIVE WATER LEAK

 Major Defect

I observed indications of an active water leak at the faucet fixture. I recommend having a qualified plumber evaluate and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



Bathroom - Lower Level

### SINK STOPPER MISSING/DEFECT

 Major Defect

I observed indications of a missing drain stopper at the faucet fixture. I recommend having a qualified plumber evaluate and repair as necessary.

Recommendation

Contact a qualified professional.



Bathroom - Lower Level

### MISSING FAN

 Major Defect

I observed that the bathroom does not have a mechanical exhaust fan installed.

Regardless of what kind of ventilation system may be installed for the rest of the house, exhaust fans are recommended in the bathrooms to remove excess moisture, cleaning chemical fumes, etc. The fan should be ducted to exhaust outside of the home.

Recommendation

Contact a qualified general contractor.

### MISSING FAN

 Major Defect

I observed that the bathroom does not have a mechanical exhaust fan installed.

Regardless of what kind of ventilation system may be installed for the rest of the house, exhaust fans are recommended in the bathrooms to remove excess moisture, cleaning chemical fumes, etc. The fan should be ducted to exhaust outside of the home.

Recommendation

Contact a qualified general contractor.

### 12.2.1 Doors & Windows

#### UNFINISHED TRIM

Major Defect

I observed that the trim around the windows was unfinished. Unfinished wood will more easily stain, discolor, rot, and decay over time. This is because it is exposed to moisture and humidity, which encourages the growth of mold and mildew. Insects, such as termites, can also damage wood. These pests can tunnel into the wood and cause extensive damage.

Recommendation

Contact a qualified professional.



Kitchen

### 12.3.1 GFCI, Lighting Fixtures, Switches & Receptacles

#### MISSING GFCI PROTECTION

Major Defect

I observed indications of missing GFCI protection in the kitchen. All receptacles within 6 feet of the sink or serve a countertop must be GFCI protected.

Recommendation

Contact a qualified electrical contractor.

### 12.5.1 Kitchen Sink

#### HAND SPRAYER IS PLUGGED

Major Defect

I observed the hand-sprayer was plugged and needs cleaning or replacement.

Recommendation

Contact a handyman or DIY project



Kitchen

### 12.7.1 Dishwasher

#### DOOR INTERFERENCE

Major Defect

I observed clearance interference between the dishwasher door and the range/oven. This interference prevents the dishwasher door from opening properly.

Recommendation

Contact a qualified professional.





Kitchen

### 13.1.1 Floors, Walls, Ceilings

#### **CARPER LOOSE**

 Major Defect

Loose carpet at time of inspection. Recommend a qualified contractor re-stretch.

Recommendation

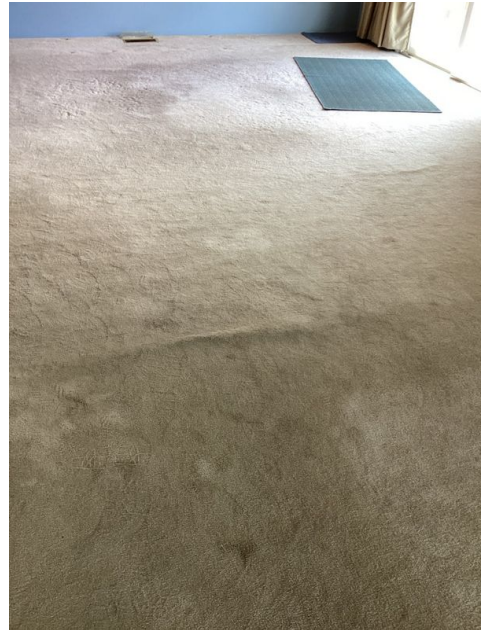
Contact a qualified handyman.



Living Room



Living Room



Dining Room

### 13.1.2 Floors, Walls, Ceilings

#### **CARPET STAINS**

 Major Defect

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

Contact a qualified cleaning service.



Living Room

### 13.2.1 Doors & Windows

#### UNFINISHED TRIM

 Major Defect

I observed that the trim around the windows was unfinished. Unfinished wood will more easily stain, discolor, rot, and decay over time. This is because it is exposed to moisture and humidity, which encourages the growth of mold and mildew. Insects, such as termites, can also damage wood. These pests can tunnel into the wood and cause extensive damage.

Recommendation  
Contact a qualified professional.



Living Room

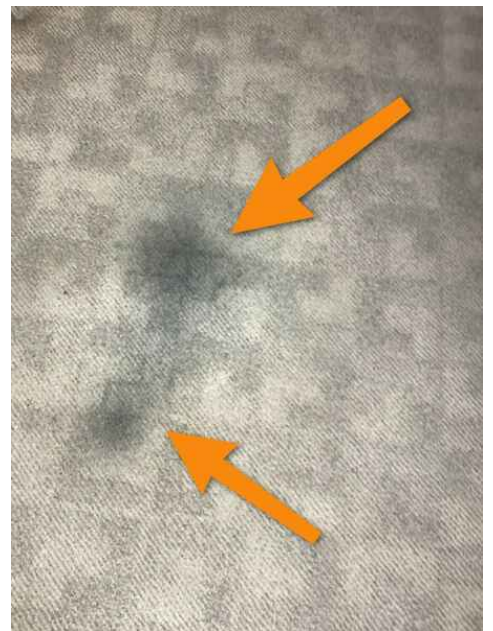
### 14.1.1 Floors, Walls, Ceilings

#### CARPET STAINS

 Major Defect

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation  
Contact a qualified cleaning service.



Bedroom, Northeast



#### 14.2.1 Doors & Windows

### DOOR - BINDING OR STICKING

Major Defect

I observed the room door binding or sticking, hindering its ability to open or close correctly. This significantly affects the operation of the door. This could be caused by improper installation, shifting of the house, loose or worn hinges, or humidity. It is recommended to have a qualified contractor investigate and correct the cause to prevent potential safety hazards.

[Here is a helpful DIY article](#) on how to fix a sticking door.

Recommendation

Contact a qualified handyman.



Bedroom, Northeast

#### 14.2.2 Doors & Windows

### WINDOW - PAINTED OR STUCK SHUT

Major Defect

One or more windows are painted or stuck shut. Recommend windows be restored to functional use.

Recommendation

Contact a qualified window repair/installation contractor.



Bedroom, Northeast

#### 15.1.1 Floors, Walls, Ceilings

### CARPET STAINS

Major Defect

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

Contact a qualified cleaning service.



Bedroom, Northwest

#### 16.1.1 Floors, Walls, Ceilings

### CARPET STAINS

Major Defect

Carpet had areas of staining or discoloration. Recommend a thorough steam clean by a qualified carpet cleaning company

Recommendation

Contact a qualified cleaning service.



Bedroom, Southwest

16.3.1 Lighting Fixtures, Switches & Receptacles

**COVER PLATES MISSING**

 Major Defect

One or more receptacles are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified electrical contractor.



Bedroom, Southwest

17.1.1 Garage Floor

**MAJOR CRACKED CONCRETE AT GARAGE FLOOR**

 Major Defect

I observed indications of major cracks in the garage concrete floor indicating settlement, heaving or structural problems. Further evaluation is recommended.

Recommendation

Contact a qualified concrete contractor.



Garage

17.4.1 Electric in Garage

**MISSING GFCI-PROTECTION IN GARAGE**

 Major Defect

I observed a receptacle in the attached garage without GFCI (or ground fault circuit interrupter) protection.

GFCI protection is required for all 15- and 20-amp receptacles, including outlets for refrigerators, garage door openers, and washing machines.



Recommendation  
Contact a qualified electrical contractor.



Garage

17.7.1 Stairs  
**MISSING HAND RAIL**

Recommendation  
Contact a qualified professional.

Major Defect



Garage

18.2.1 Roof Covering  
**FAILING RIDGE CAP SEAL**

Recommendation  
Contact a qualified professional.

Major Defect



North



South

18.3.1 Gutters & Downspouts  
**GUTTERS MISSING**

Major Defect

Gutters are necessary to properly collect rain water from the roof, control it, divert it, and discharge that water away from the house and its foundation. A missing gutter is a defect. This is a defect that should be corrected by a professional contractor.

Recommendation  
Contact a qualified gutter contractor



South

### 18.3.2 Gutters & Downspouts

#### **DOWN SPOUT BURIED**

 Major Defect

I observed a downspout that was buried in the ground. I was unable to determine where it goes or how it is working. This is an inspection restriction. This should be further evaluated and verified it is working correctly.

Recommendation  
Contact a qualified professional.



Detached Garage - West Southwest

### 18.4.1 Eaves, Soffits & Fascia

#### **DAMAGE OBSERVED AT SOFFIT**

 Major Defect

I observed indications that one or more areas of the soffit were damaged.

Correction and further evaluation is recommended.

Recommendation  
Contact a qualified roofing professional.



North



18.4.2 Eaves, Soffits & Fascia  
**FAILING ROOF COVERING RIB SEAL**

Major Defect

Recommendation  
Contact a qualified professional.



South



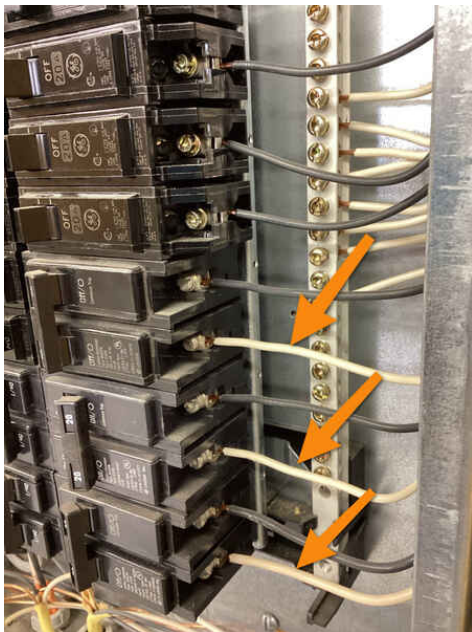
North

18.12.1 Electric in the Garage  
**ELECTRICAL DEFECT IN GARAGE**

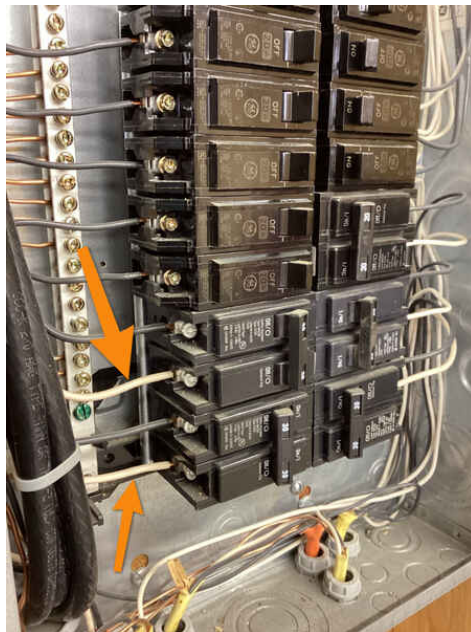
Major Defect

I observed an electrical defect in the attached garage.

Recommendation  
Contact a qualified electrical contractor.



Circuit Breaker Panel



Circuit Breaker Panel

18.12.2 Electric in the Garage  
**MISSING RECEPTACLE COVER PLATES**

Major Defect

I observed missing receptacle cover plates. A qualified electrician should further evaluate and correct.

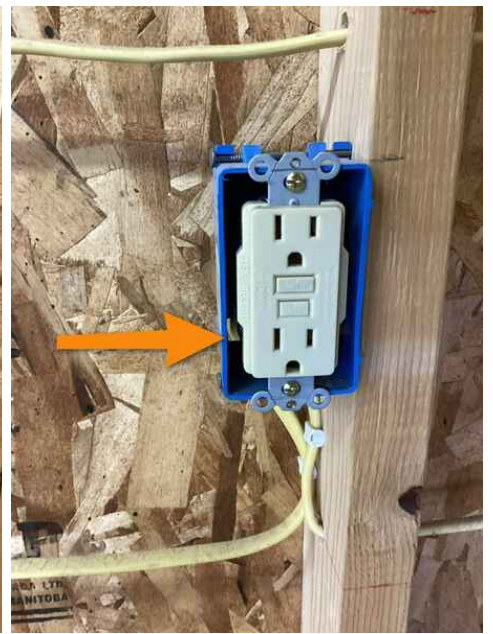
Recommendation  
Contact a qualified professional.



North



North



South

18.15.2 Exterior Door

**DETERIORATING PAINT**

Recommendation

Contact a qualified professional.

 Major Defect



West

18.16.1 Patio

**CRACKED**

I observed cracks in the concrete patio of the garage.

Recommendation

Contact a qualified professional.

 Major Defect





East



West